





SITE/ROOF PLAN
 SCALE 1:200

REV	DATE
B	04 FEB 2013

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 Chartered Architect No 9033

Job:
RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing title:
SITE PLAN

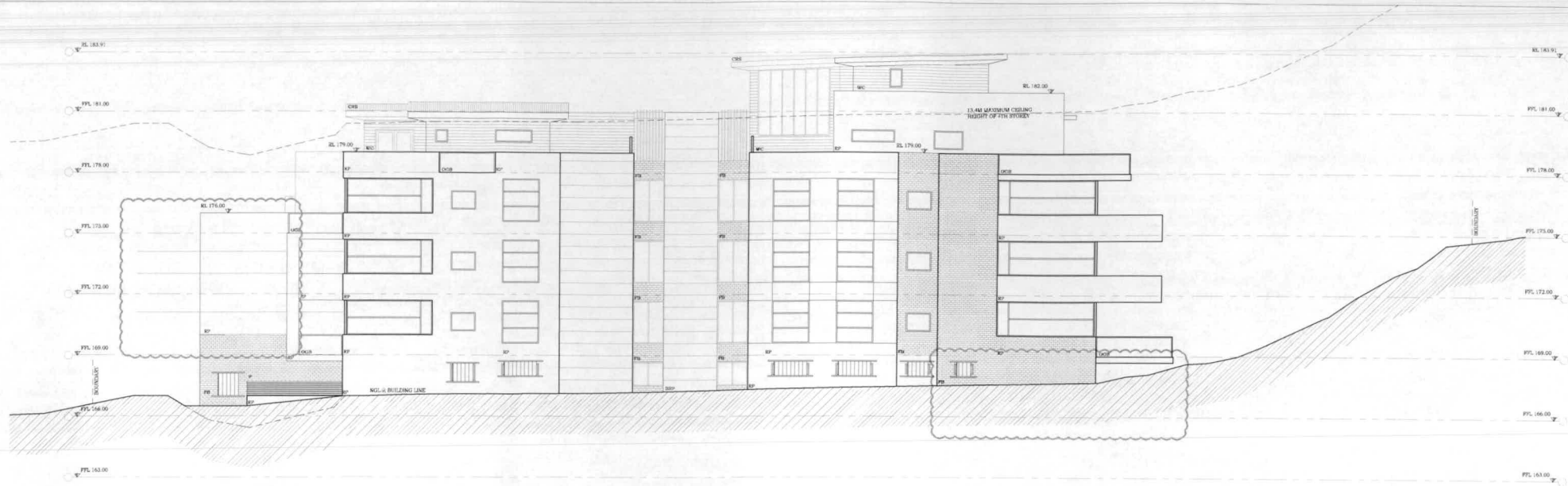
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 Date: 31.08.2012

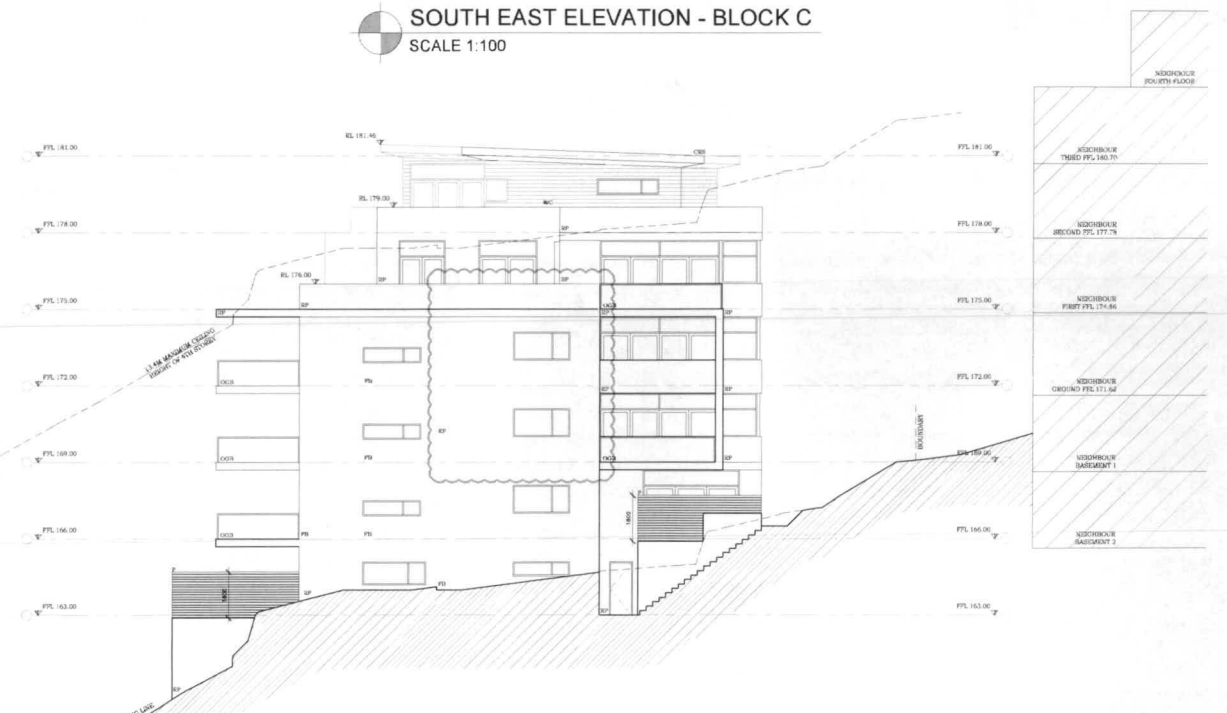
Drawn: JA
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KEY
 CRB - Cast-in-place concrete
 F - Floor Slab
 G - Gravel
 H - Hardwood
 M - Masonry
 P - Precast concrete
 S - Structural Steel
 W - Windows
 D - Doors
 C - Cladding
 L - Landscaping



SOUTH EAST ELEVATION - BLOCK C
 SCALE 1:100



SOUTH WEST ELEVATION - BLOCK C
 SCALE 1:100



NORTH EAST ELEVATION - BLOCK C
 SCALE 1:100



STREET ELEVATION
 SCALE 1:100

REV	DATE
B	04 FEB 2013

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 Chartered Architect Lic 6033

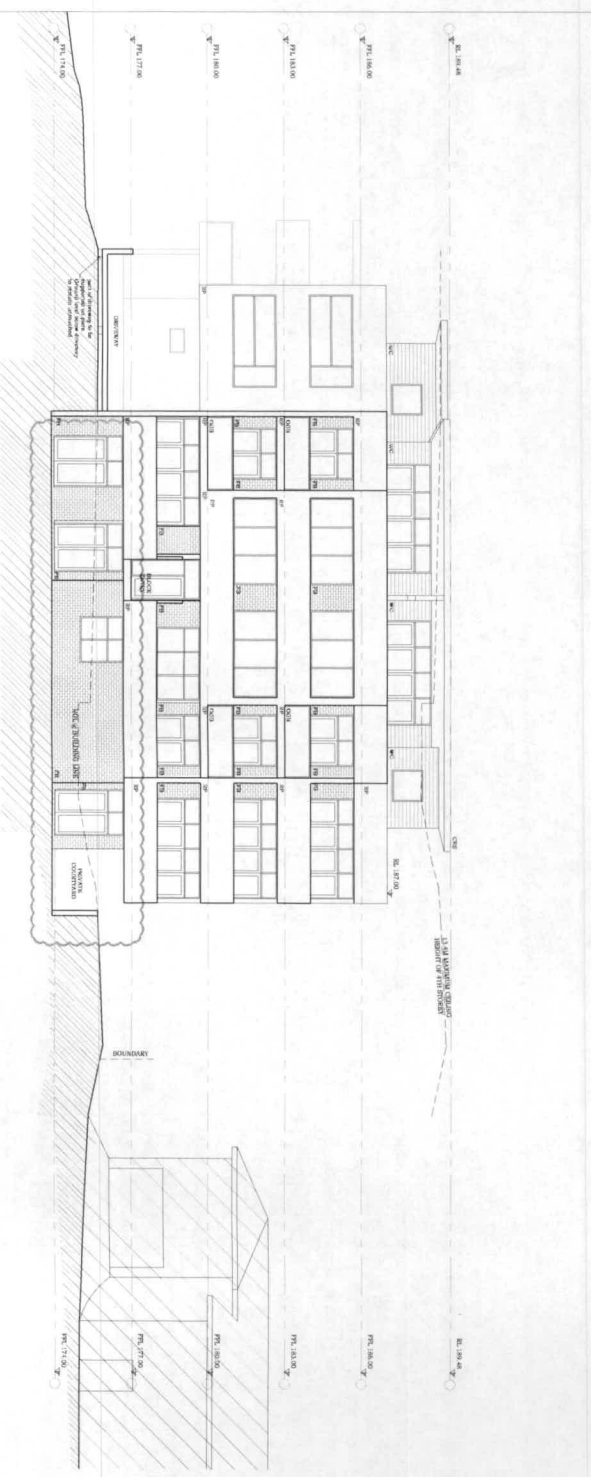
200
RESIDENTIAL FLAT BUILDING - 5-15 LAMOND DRIVE TURRAMURRA
 Elevations Block C

North point

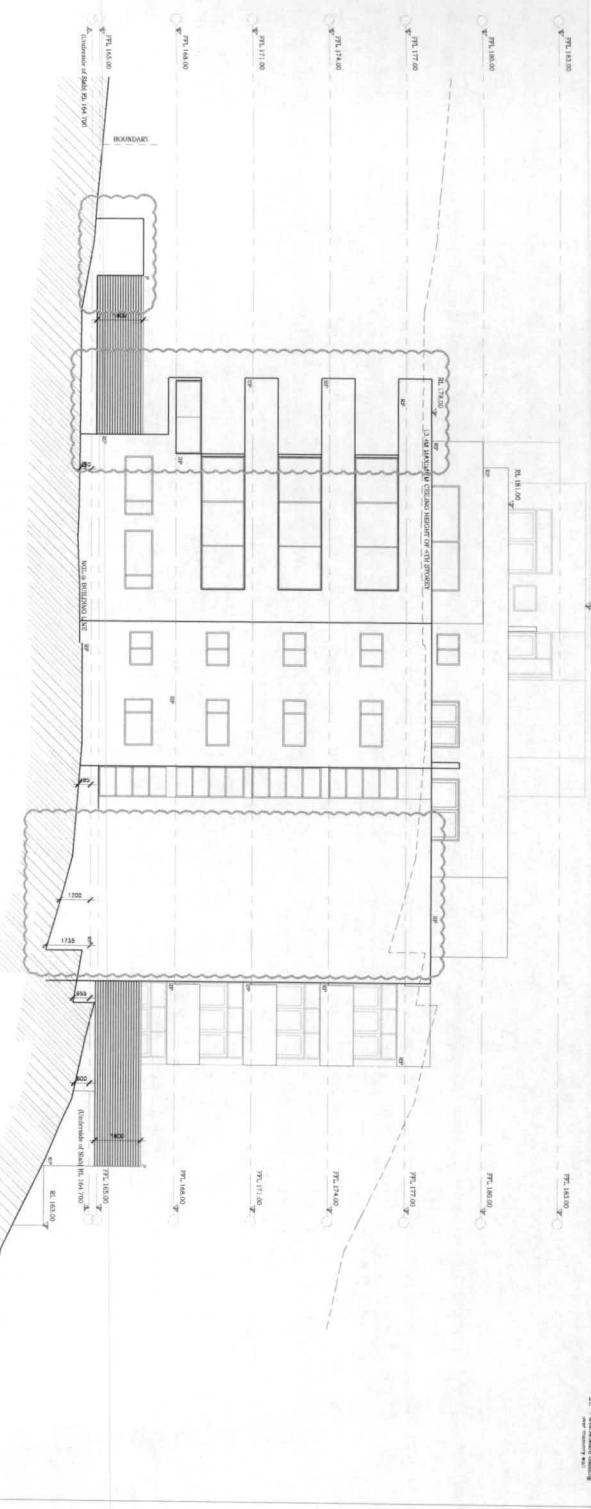
Scale Date
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KEY

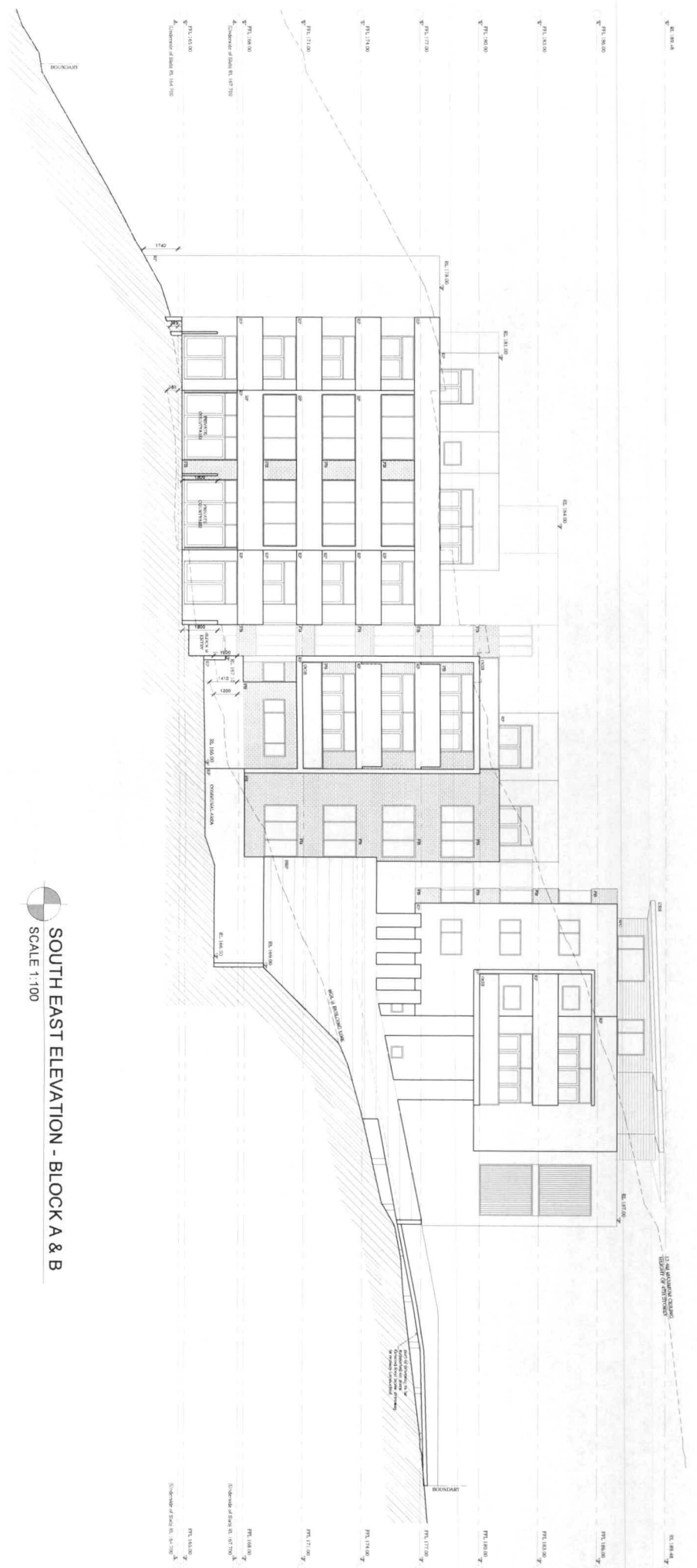
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- 100. Proposed Building Footprint



NORTH EAST ELEVATION - BLOCK A
SCALE 1:100



SOUTH WEST ELEVATION - BLOCK B
SCALE 1:100



SOUTH EAST ELEVATION - BLOCK A & B
SCALE 1:100

REV	DATE
B	04 FEB 2013

MAACKENZIE
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Fax: 021 9887 8877
Chartered Architects No. 9233

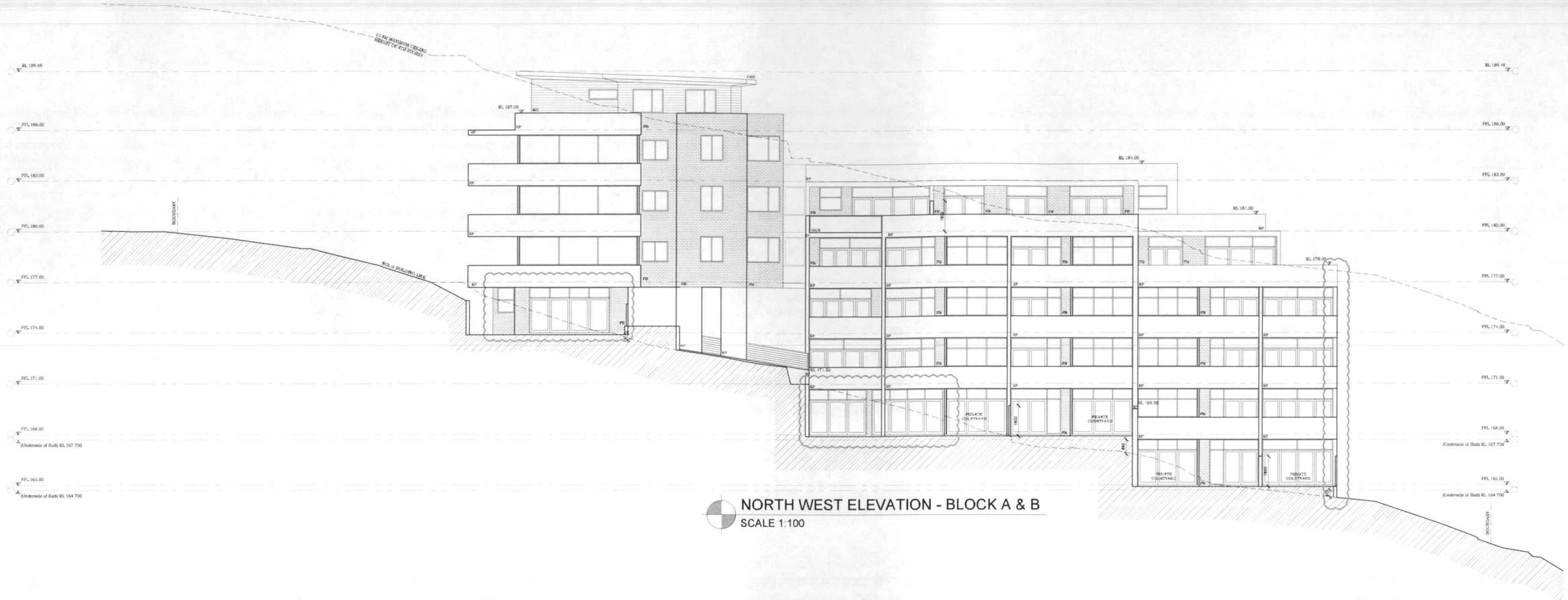
Client:
RESIDENTIAL FLAT
BUILDING 5-15 LAMOND
DRIVE TURAKURUPA
ELEVATIONS BLOCK A

Drawn by:
Checked:
Date:
Scale:
1:100 @ A3 31.08.2012

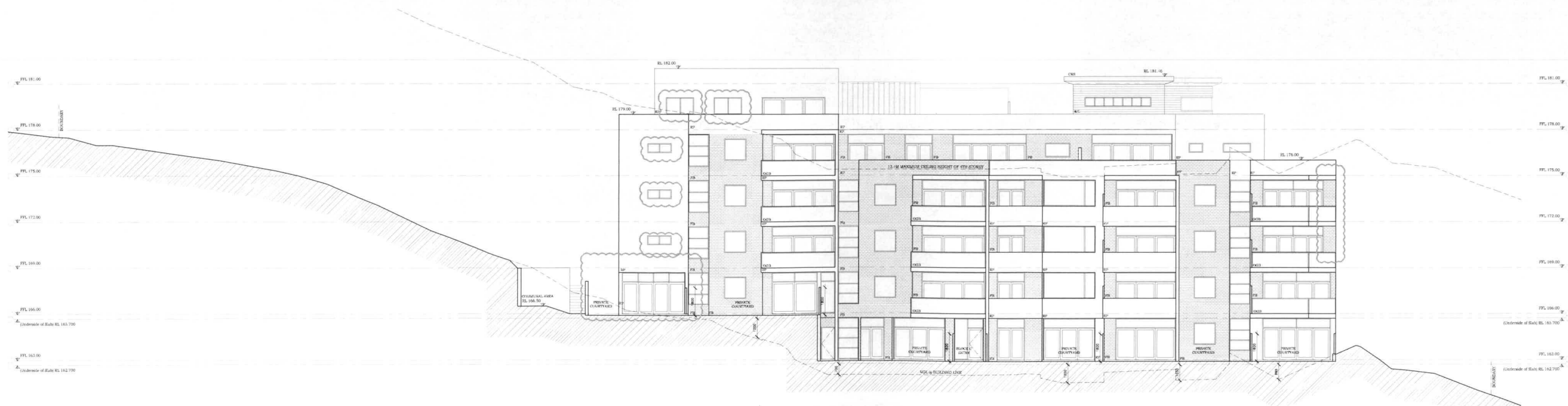
Design No. **DA2008**

Client:
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Chartered Architects No. 9233

KEY
 CSR - Coloured Roof Shading
 P - Permeable Asphalt
 PS - Paved Surfaces
 GSP - Gravel Stormwater Accumulation
 GPP - Gravel Stormwater Accumulation
 GPP - Gravel Stormwater Accumulation
 GPP - Gravel Stormwater Accumulation
 GPP - Gravel Stormwater Accumulation
 GPP - Gravel Stormwater Accumulation



NORTH WEST ELEVATION - BLOCK A & B
 SCALE 1:100



NORTH WEST ELEVATION - BLOCK C
 SCALE 1:100

REV	DATE
B	04 FEB 2013

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 Chartered Architect No. 92033

JOB
 RESIDENTIAL FLAT
 BUILDING - 5-15 LAMOND
 DRIVE TURRAMURRA

Drawing title:
**ELEVATIONS BLOCK A & B
 & C**

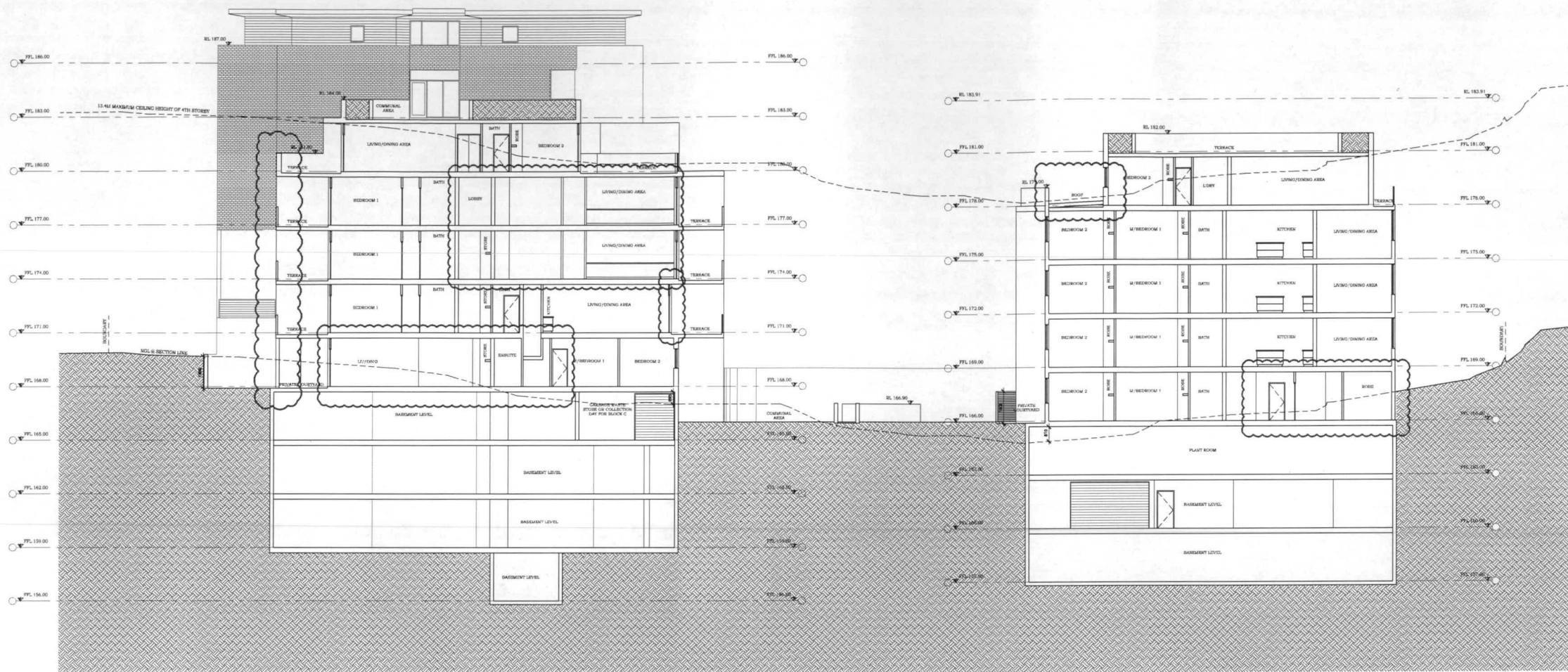
North point:

Scale: Date:
1:100 @ A0 31.08.2012

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Drawing no.
DA201B

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SECTION C-C
SCALE 1:100

REV	DATE
B	04 FEB 2013

MACKENZIE

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RESIDENTIAL FLAT
BUILDING: 5-15 LAMOND
DRIVE TURRAMURRA

Drawing title:
SECTION C-C'

North point



Scale Date

1:100 @ A6 31.08.2012

Drawn: Checked:

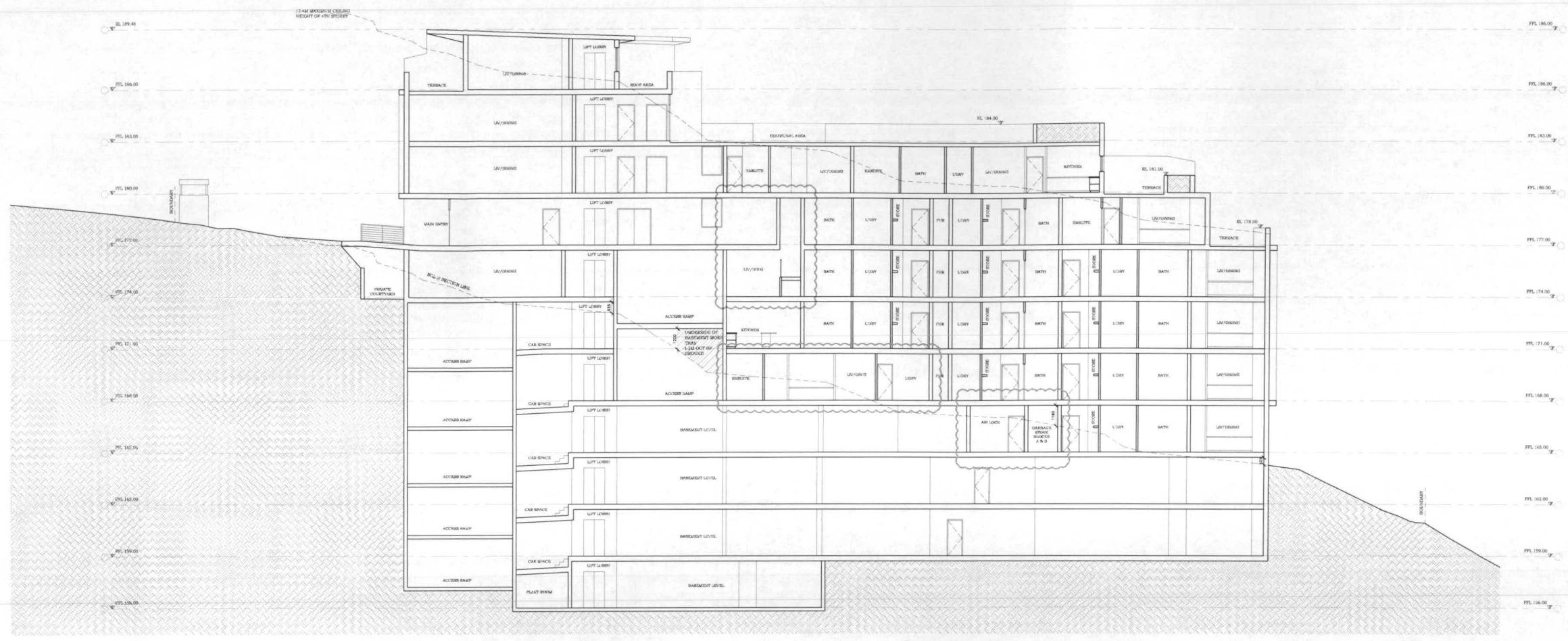
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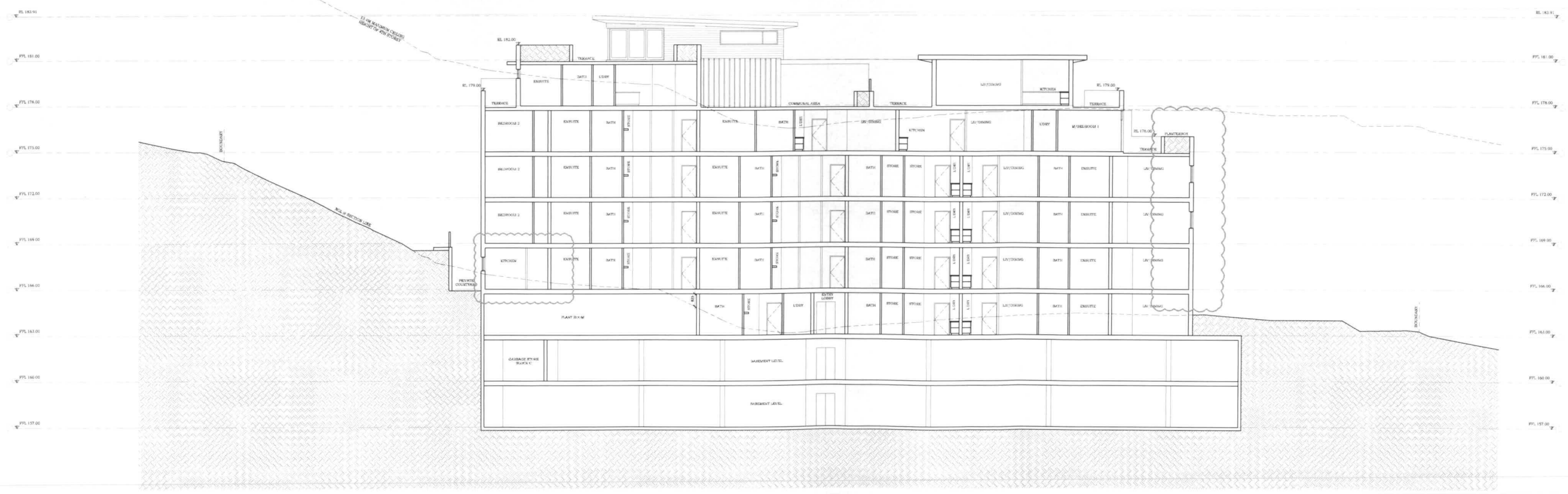
DA301b

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SECTION A-A
SCALE 1:100



SECTION B-B'
SCALE 1:100

REV	DATE
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JOB:
RESIDENTIAL FLAT BUILDING: 5-15 LA MOND DRIVE TURRAMURRA

Drawing title:
SECTIONS A-A' & B-B'

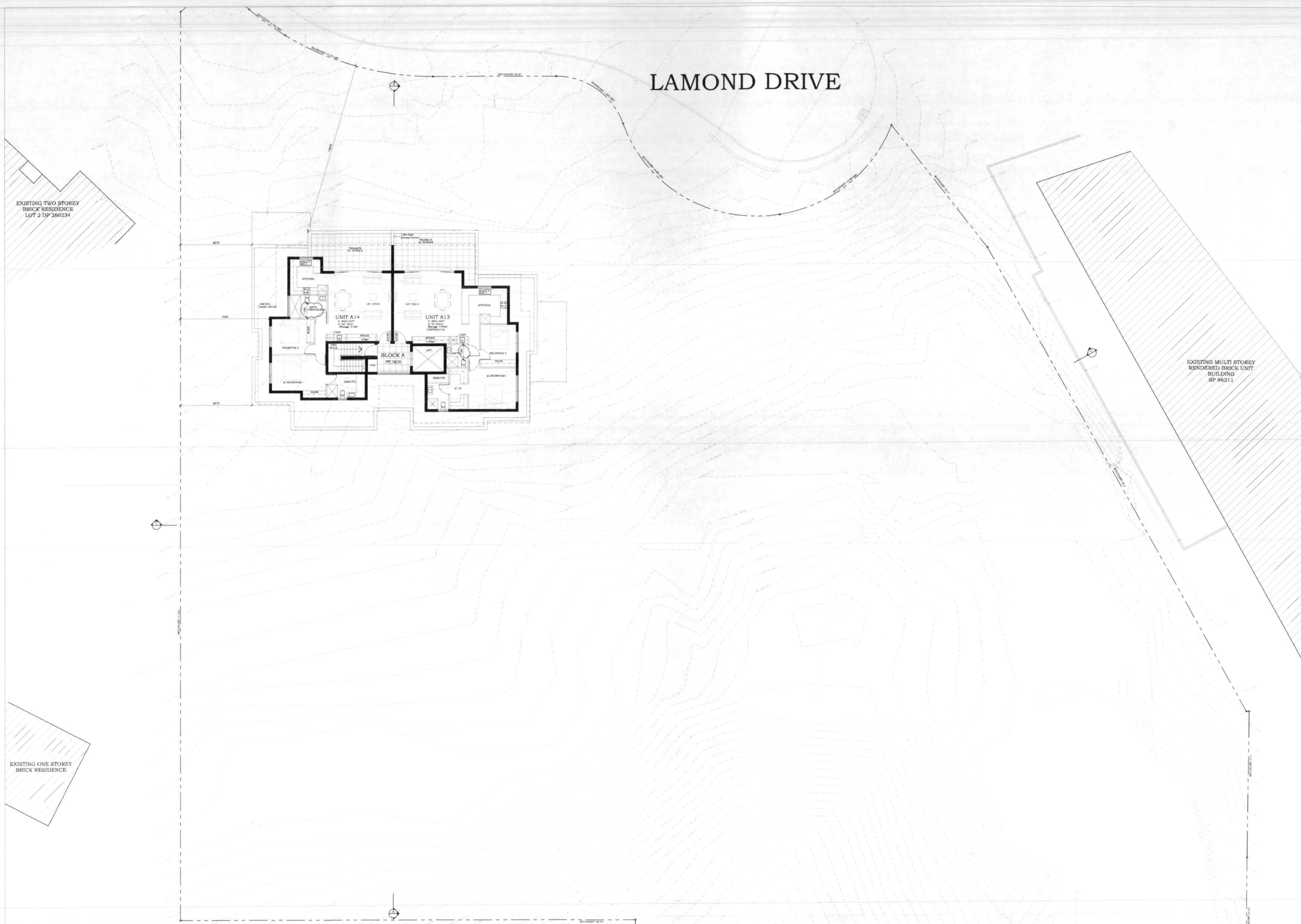
North point

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DA300b

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LAMOND DRIVE



- BASIX REQUIREMENTS**
- All units must have 3 star (>4.5 but <=6L/min) rated shower heads
 - All units must have 4 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bath'm taps
 - All units must have 4.5 star rated gas instantaneous hot water system
 - Each bathroom in all units must have an individual fan into central duct + VSD
 - Each bathroom in all units must have a manual switch on/off
 - Each kitchen in all units must have an individual fan into central duct + VSD
 - Each kitchen in all units must have a manual switch on/off
 - Each laundry in all units must have an individual fan into central duct + VSD
 - Each laundry in all units must have a manual switch on/off
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallway's
 - All dwellings to have 1-phase airconditioning EER3.0-3.5 for cooling & heating to living areas
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - All common areas must have 5 star rated toilets & taps
 - Car park area must be ventilated by exhaust & supply air and have a carbon monoxide VSD fan. The primary type of artificial lighting is fluorescent, with time clock & motion sensors.
 - Lift car No.1, 2 & 3 must have fluorescent lighting and be connected to lift call button
 - Plant room or service room must have no mechanical ventilation. The primary type of artificial lighting is fluorescent, with manual on/ manual off switch
 - Lift No.1 must have gearless traction with VVVF motor servicing 11 levels (including basement)
 - Lift No.2 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Lift No.3 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with a manual on/ timer off switch

REV	DATE
B	04 FEB 2013

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 Chartered Architect No 8033

Job:
RESIDENTIAL FLAT BUILDING - S-15 LAMOND DRIVE TURRAMURRA

Drawing title:
**FLOOR PLAN:
 LEVEL RL 186.00**

North point



Scale: Date
1:100 @ A0 31.08.2012

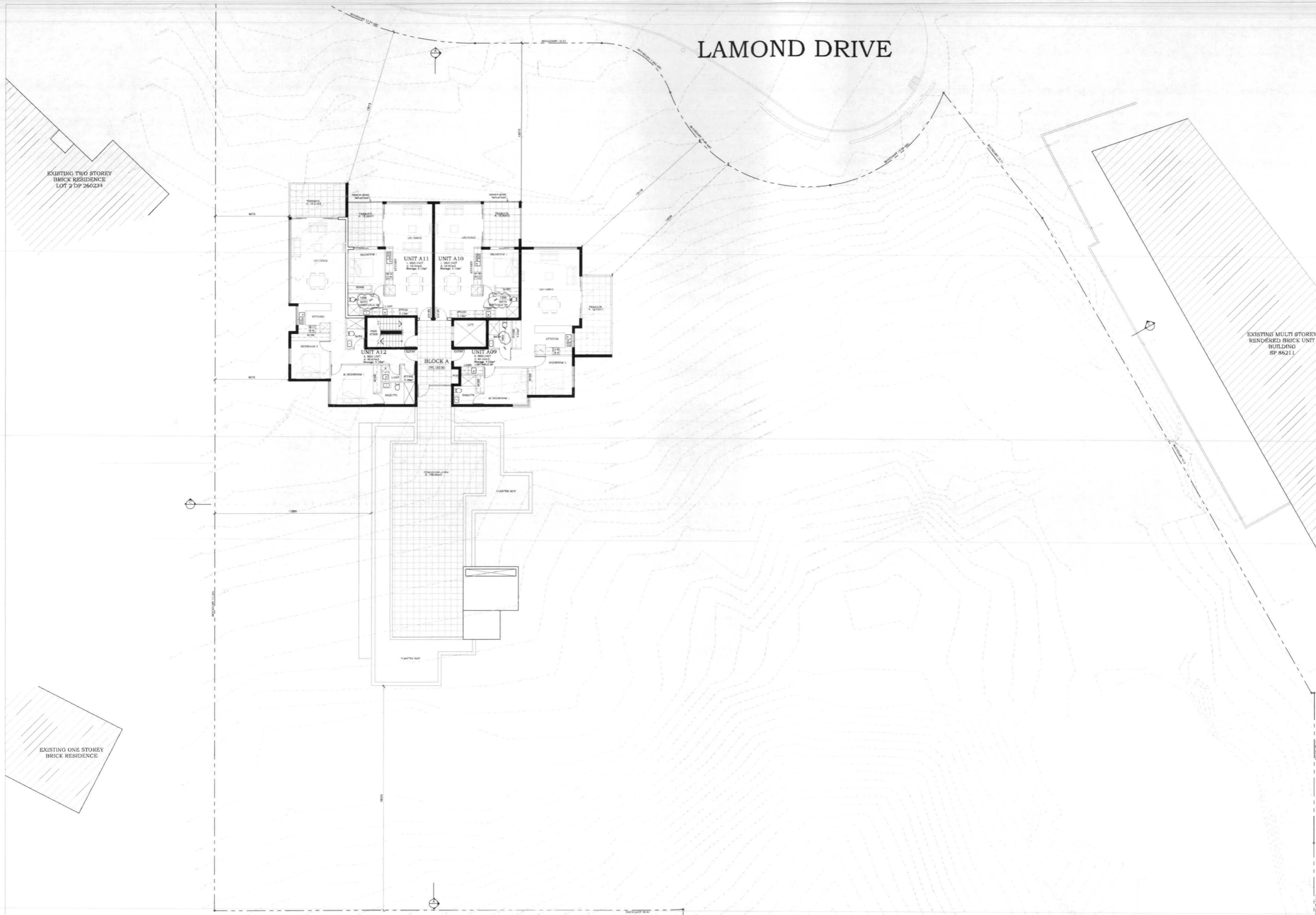
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JA DM

Drawing no.
DA110B

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FLOOR PLAN - LEVEL RL 186.00
 SCALE 1:100

LAMOND DRIVE



- BASIX REQUIREMENTS**
- All units must have 3 star (>4.5 but <=4.9min) rated shower heads
 - All units must have 4 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bathrm taps
 - All units must have 4.5 star rated gas instantaneous hot water system
 - Each bathroom in all units must have an individual fan into central duct + VSD
 - Each bathroom in all units must have a manual switch on/off;
 - Each kitchen in all units must have an individual fan into central duct + VSD
 - Each kitchen in all units must have a manual switch on/off;
 - Each laundry in all units must have an individual fan into central duct + VSD
 - Each laundry in all units must have a manual switch on/off;
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
 - All dwellings to have 1-phase airconditioning EER3 0-2.5 for cooling & heating to living areas
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - All common areas must have 5 star rated toilets & taps
 - Car park area must be ventilated by exhaust & supply air and have a carbon monoxide VSD fan. The primary type of artificial lighting is fluorescent, with time clock & motion sensors.
 - Lift car No. 1, 2 & 3 must have fluorescent lighting and be connected to lift call button
 - Plant room or service room must have no mechanical ventilation. The primary type of artificial lighting is fluorescent, with manual on/ manual off switch
 - Lift No.1 must have gearless traction with VVV F motor servicing 11 levels (including basement)
 - Lift No.2 must have gearless traction with VVV F motor servicing 8 levels (including basement)
 - Lift No.3 must have gearless traction with VVV F motor servicing 8 levels (including basement)
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with a manual on/ timer off switch

FLOOR PLAN - LEVEL RL 183.00
SCALE 1:100

REV	DATE
B	04 FEB 2013

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Job:
RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing title:
FLOOR PLAN: LEVEL RL 183.00

North point

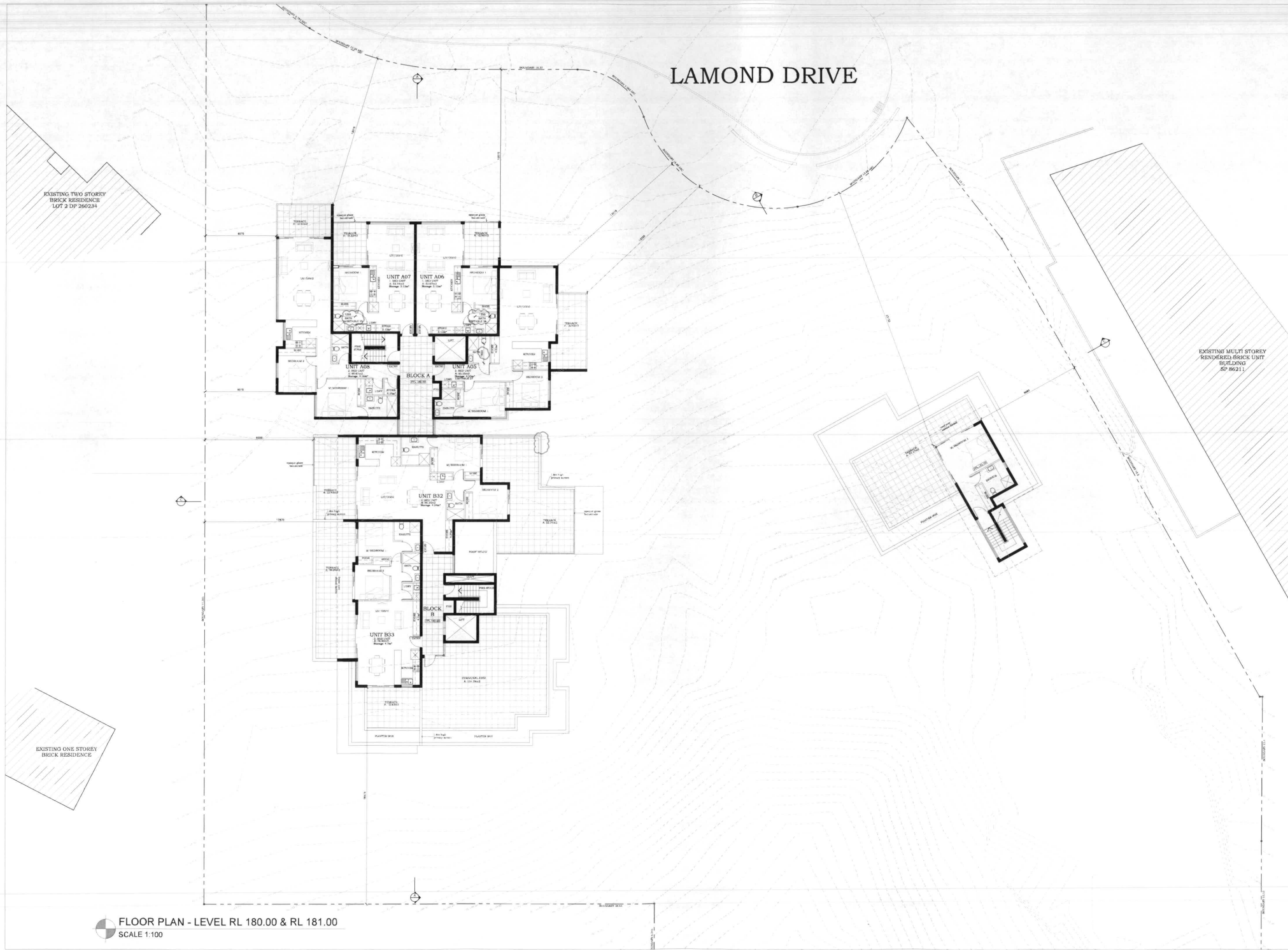
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Date: 31.08.2012

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Drawing no:
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LAMOND DRIVE



- BASIX REQUIREMENTS**
- All units must have 3 star (>4.5 but <6L/min) rated shower heads
 - All units must have 4 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bathroom taps
 - All units must have 4.5 star rated gas instantaneous hot water system
 - Each bathroom in all units must have an individual fan into central duct + VSD
 - Each bathroom in all units must have a manual switch on/off
 - Each kitchen in all units must have an individual fan into central duct + VSD
 - Each kitchen in all units must have a manual switch on/off
 - Each laundry in all units must have an individual fan into central duct + VSD
 - Each laundry in all units must have a manual switch on/off
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
 - All dwellings to have 1-phase airconditioning EER3.0-3.5 for cooling & heating to living areas
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - All common areas must have 5 star rated toilets & taps
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 - Lift No. 2 must have gearless traction with VVV F motor servicing 8 levels (including basement)
 - Lift No. 3 must have gearless traction with VVV F motor servicing 8 levels (including basement)
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with a manual on/off timer switch

REV	DATE
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 Chartered Architect No 9533

JOB
 RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing title:
FLOOR PLANS: LEVEL RL 180.00 & RL 181.00

North point

Scale: Date
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 JA DM

Drawing no:
DA108B

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FLOOR PLAN - LEVEL RL 180.00 & RL 181.00
 SCALE 1:100

LAMOND DRIVE



- BASIX REQUIREMENTS**
- All units must have 3 star (>4.5 but <=6.0 min) rated shower heads
 - All units must have 4 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bath/m taps
 - All units must have 4.5 star rated gas instantaneous hot water system
 - Each bathroom in all units must have an individual fan into central duct + VSD
 - Each bathroom in all units must have a manual switch on/off
 - Each kitchen in all units must have an individual fan into central duct + VSD
 - Each kitchen in all units must have a manual switch on/off
 - Each laundry in all units must have an individual fan into central duct + VSD
 - Each laundry in all units must have a manual switch on/off
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
 - All dwellings to have 1-phase airconditioning EER3.0-3.5 for cooling & heating to living areas
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - All common areas must have 5 star rated toilets & taps
 - Car park area must be ventilated by exhaust & supply air and have a carbon monoxide VSD fan. The primary type of artificial lighting is fluorescent, with time clock & motion sensors.
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 - Plant room or service room must have no mechanical ventilation. The primary type of artificial lighting is fluorescent, with manual on/manual off switch
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 - Lift No. 2 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Lift No. 3 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with a manual on/timer off switch

EXISTING MULTI STOREY RENDERED BRICK UNIT BUILDING SP 86211

EXISTING TWO STOREY BRICK RESIDENCE LOT 2 DP 260234

EXISTING ONE STOREY BRICK RESIDENCE

EXISTING TWO STOREY BRICK RESIDENCE

REV	DATE
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 Chartered Architect No 5033

Job:
RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing title:
FLOOR PLANS: LEVEL RL 177.00 & RL 178.00

North point:



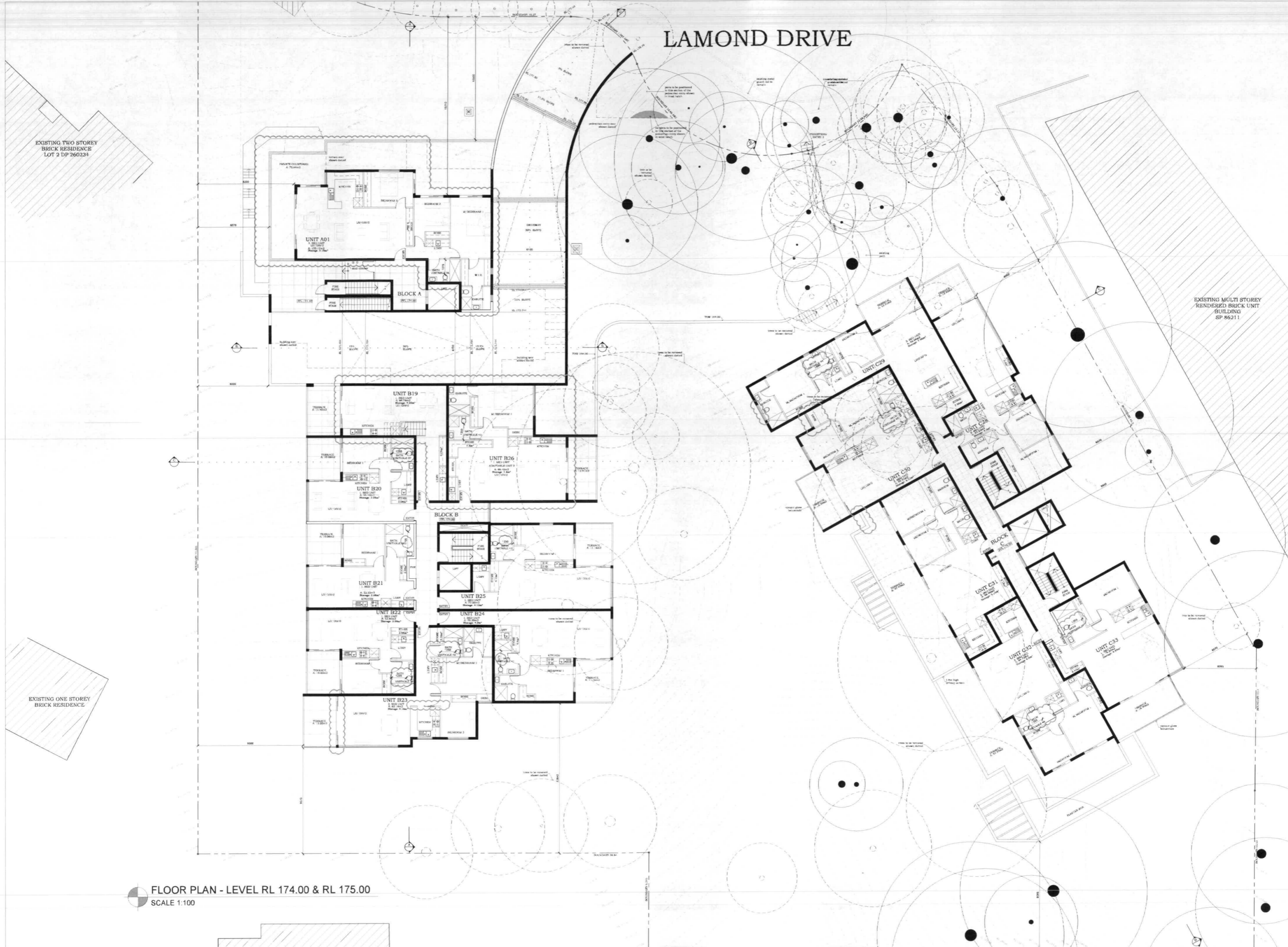
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 Drawn: JA
 Checked: DM

Drawing no:
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FLOOR PLAN - LEVEL RL 177.00 & RL 178.00
 SCALE 1:100

LAMOND DRIVE



- BASIX REQUIREMENTS**
- All units must have 3 star (>4.5 but <=6L/min) rated shower heads
 - All units must have 4 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bathroom taps
 - All units must have 4.5 star rated gas instantaneous hot water system
 - Each bathroom in all units must have an individual fan into central duct + VSD
 - Each bathroom in all units must have a manual switch on/off
 - Each kitchen in all units must have an individual fan into central duct + VSD
 - Each kitchen in all units must have a manual switch on/off
 - Each laundry in all units must have an individual fan into central duct + VSD
 - Each laundry in all units must have a manual switch on/off
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallway
 - All dwellings to have 1-phase airconditioning EER3.0-3.5 for cooling & heating to living areas
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - All common areas must have 5 star rated toilets & taps
 - Car park area must be ventilated by exhaust & supply air and have a carbon monoxide VSD fan. The primary type of artificial lighting is fluorescent, with time clock & motion sensors.
 - Lift car No. 1, 2 & 3 must have fluorescent lighting and be connected to lift call button
 - Plant room or service room must have no mechanical ventilation. The primary type of artificial lighting is fluorescent, with manual on/ manual off switch
 - Lift No.1 must have gearless traction with VVVF motor servicing 11 levels (including basement)
 - Lift No.2 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Lift No.3 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with a manual on/ timer off switch

FLOOR PLAN - LEVEL RL 174.00 & RL 175.00
SCALE 1:100

REV	DATE
B	04 FEB 2013

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JOB
RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing title:
FLOOR PLANS: LEVEL RL 174.00 & RL 175.00

North point

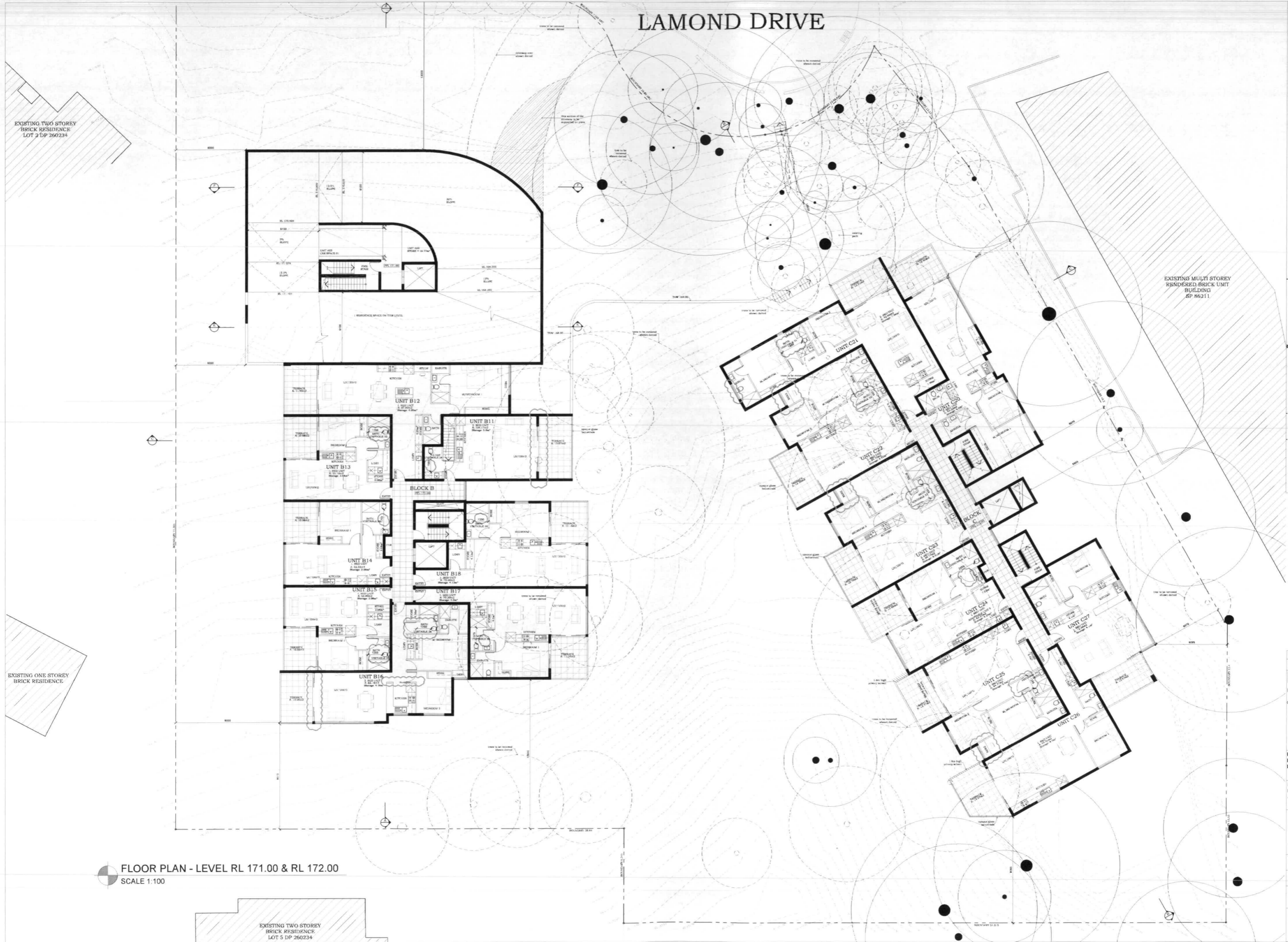
Scale Date
1:100 @ A6 31.08.2012

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JA DM

Drawing No.
DA106B

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LAMOND DRIVE



BASIX REQUIREMENTS

- All units must have 3 star (p4.5 but <=6L/min) rated shower heads
- All units must have 4 star rated toilet flushing system
- All units must have 5 star rated kitchen & bath/m taps
- All units must have 4.5 star rated gas instantaneous hot water system
- Each bathroom in all units must have an individual fan into central duct + VSD
- Each bathroom in all units must have a manual switch on/off.
- Each kitchen in all units must have an individual fan into central duct + VSD
- Each kitchen in all units must have a manual switch on/off.
- Each laundry in all units must have an individual fan into central duct + VSD
- Each laundry in all units must have a manual switch on/off.
- All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
- All dwellings to have 1-phase airconditioning EER3.0-3.5 for cooling & heating to living areas
- All units must have a gas cooktop & electric oven
- All units must have a well ventilated fridge space
- All units must have an indoor sheltered clothes drying line
- All common areas must have 5 star rated toilets & taps
- Car park area must be ventilated by exhaust & supply air and have a carbon monoxide VSD fan. The primary type of artificial lighting is fluorescent, with time clock & motion sensors.
- Lift car No. 1, 2 & 3 must have fluorescent lighting and be connected to lift call button
- Plant room or service room must have no mechanical ventilation. The primary type of artificial lighting is fluorescent, with manual on/off switch
- Lift No. 1 must have gearless traction with VVV F motor servicing 11 levels (including basement)
- Lift No. 2 must have gearless traction with VVV F motor servicing 8 levels (including basement)
- Lift No. 3 must have gearless traction with VVV F motor servicing 8 levels (including basement)
- Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with a manual on/off timer off switch

REV	DATE
B	04 FEB 2013

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 Chartered Architect No. 6033

JOB:
RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing title:
FLOOR PLANS: LEVEL RL 171.00 & RL 172.00

North point:

Scale: Date
1:100 @ A0 31.08.2012

Drawn: Checked:
JA DM

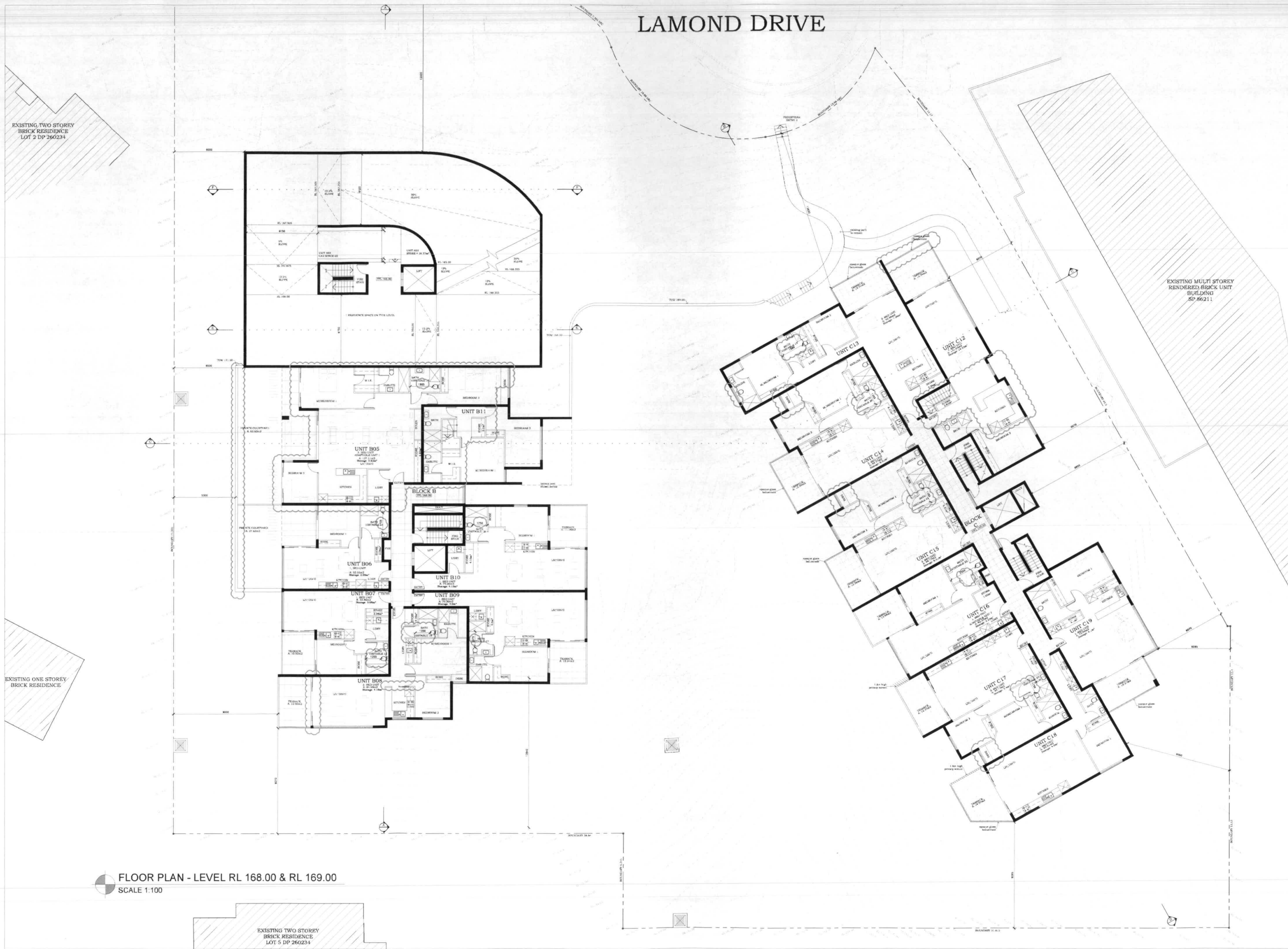
Drawing no:
DA105B

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FLOOR PLAN - LEVEL RL 171.00 & RL 172.00
 SCALE 1:100

EXISTING TWO STOREY BRICK RESIDENCE LOT 5 DP 260234

LAMOND DRIVE



- BASIX REQUIREMENTS**
- All units must have 3 star (>4.5 but <=6L/min) rated shower heads
 - All units must have 4 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bath/m taps
 - All units must have 4.5 star rated gas instantaneous hot water system
 - Each bathroom in all units must have an individual fan into central duct + VSD
 - Each bathroom in all units must have a manual switch on/off
 - Each kitchen in all units must have an individual fan into central duct + VSD
 - Each kitchen in all units must have a manual switch on/off
 - Each laundry in all units must have an individual fan into central duct + VSD
 - Each laundry in all units must have a manual switch on/off
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
 - All dwellings to have 1-phase airconditioning EER3.0-3.5 for cooling & heating to living areas
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - All common areas must have 5 star rated toilets & taps
 - Car park area must be ventilated by exhaust & supply air and have a carbon monoxide VSD fan. The primary type of artificial lighting is fluorescent, with time clock & motion sensors.
 - Lift car No.1, 2 & 3 must have fluorescent lighting and be connected to lift call button
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 - Lift No.1 must have gearless traction with VVV F motor servicing 11 levels (including basement)
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 - Lift No.3 must have gearless traction with VVV F motor servicing 8 levels (including basement)
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with a manual on/off timer off switch

REV	DATE
B	04 FEB 2013

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Job:
RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing title:
FLOOR PLANS: LEVEL RL 168.00 & RL 169.00

Scale: 1:100 @ A0
 Date: 31.08.2012

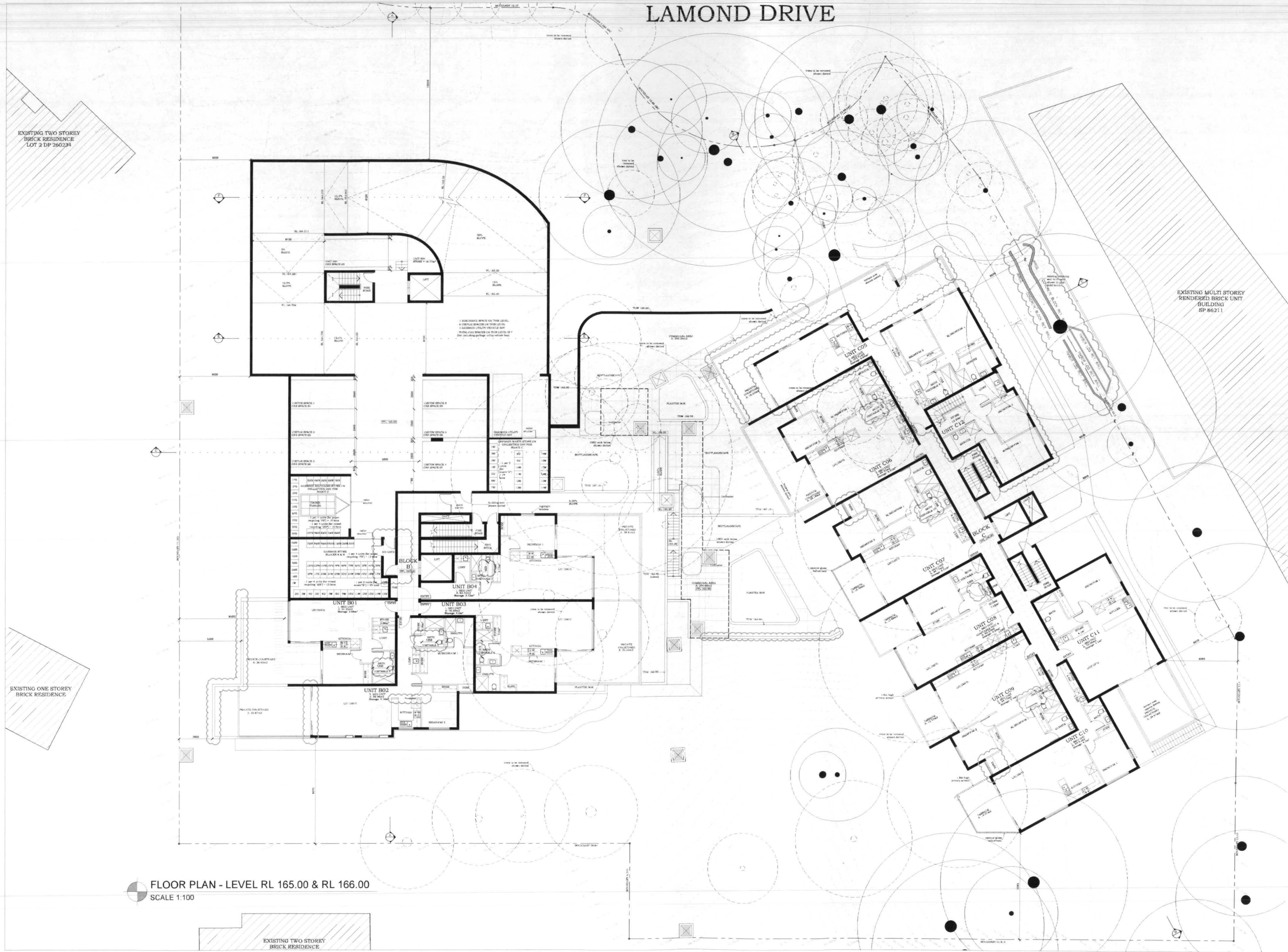
Drawn: JA
 Checked: DM

Drawing no.: **DA104B**

Copyright

FLOOR PLAN - LEVEL RL 168.00 & RL 169.00
 SCALE 1:100

LAMOND DRIVE



- BASIS REQUIREMENTS**
- All units must have 3 star (+4.5 but <=6L/min) rated shower heads
 - All units must have 4 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bath'm taps
 - All units must have 4.5 star rated gas instantaneous hot water system
 - Each bathroom in all units must have an individual fan into central duct + VSD
 - Each bathroom in all units must have a manual switch on/off:
 - Each kitchen in all units must have an individual fan into central duct + VSD
 - Each kitchen in all units must have a manual switch on/off:
 - Each laundry in all units must have an individual fan into central duct + VSD
 - Each laundry in all units must have a manual switch on/off:
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
 - All dwellings to have 1-phase airconditioning EER3.0-3.5 for cooling & heating to living areas
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - All common areas must have 5 star rated toilets & taps
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 - Lift No.2 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Lift No.3 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with a manual on/off timer off switch

FLOOR PLAN - LEVEL RL 165.00 & RL 166.00
SCALE 1:100

REV	DATE
B	04 FEB 2013

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Chartered Architect Lic 90333

Job:
RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing title:
FLOOR PLANS: LEVEL RL 165.00 & RL 166.00

North point

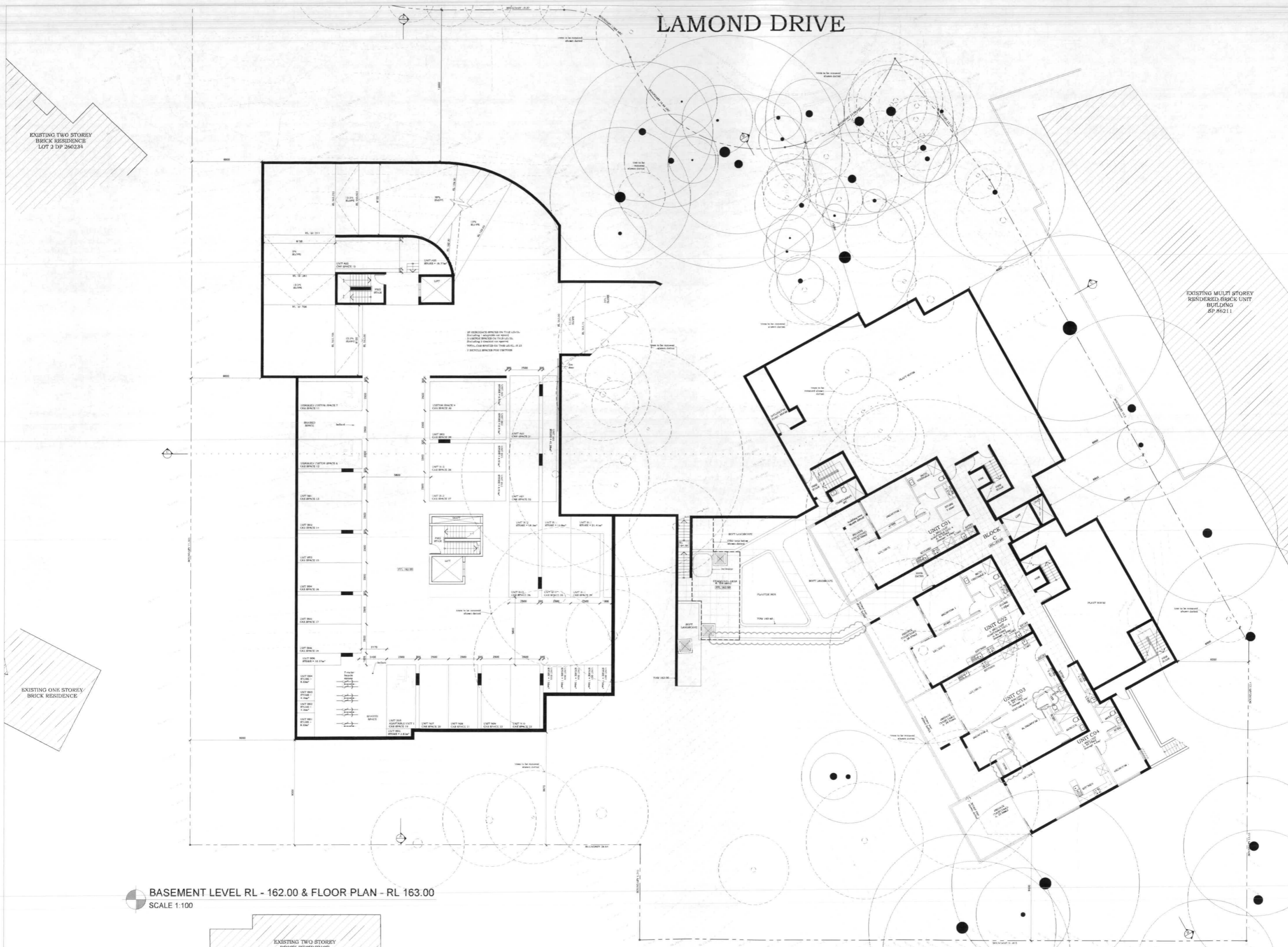
Scale: 1:100 @ A0
Date: 31.08.2012

Drawn: JA
Checked: DM

Drawing no: **DA103B**

Copyright

LAMOND DRIVE



- BASIS REQUIREMENTS**
- All units must have 3 star (>4.5 but <=6L/min) rated shower heads
 - All units must have 4 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bath/m taps
 - All units must have 4.5 star rated gas instantaneous hot water system
 - Each bathroom in all units must have an individual fan into central duct + VSD
 - Each bathroom in all units must have a manual switch on/off;
 - Each kitchen in all units must have an individual fan into central duct + VSD
 - Each kitchen in all units must have a manual switch on/off;
 - Each laundry in all units must have an individual fan into central duct + VSD
 - Each laundry in all units must have a manual switch on/off;
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
 - All dwellings to have 1-phase airconditioning EER3.0-3.5 for cooling & heating to living areas
 - All units must have a gas cooktop & electric oven
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 - Lift No.3 must have gearless traction with VVV F motor servicing 8 levels (including basement)
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with a manual on/off timer off switch

BASEMENT LEVEL RL - 162.00 & FLOOR PLAN - RL 163.00
SCALE 1:100

REV	DATE
B	04 FEB 2013

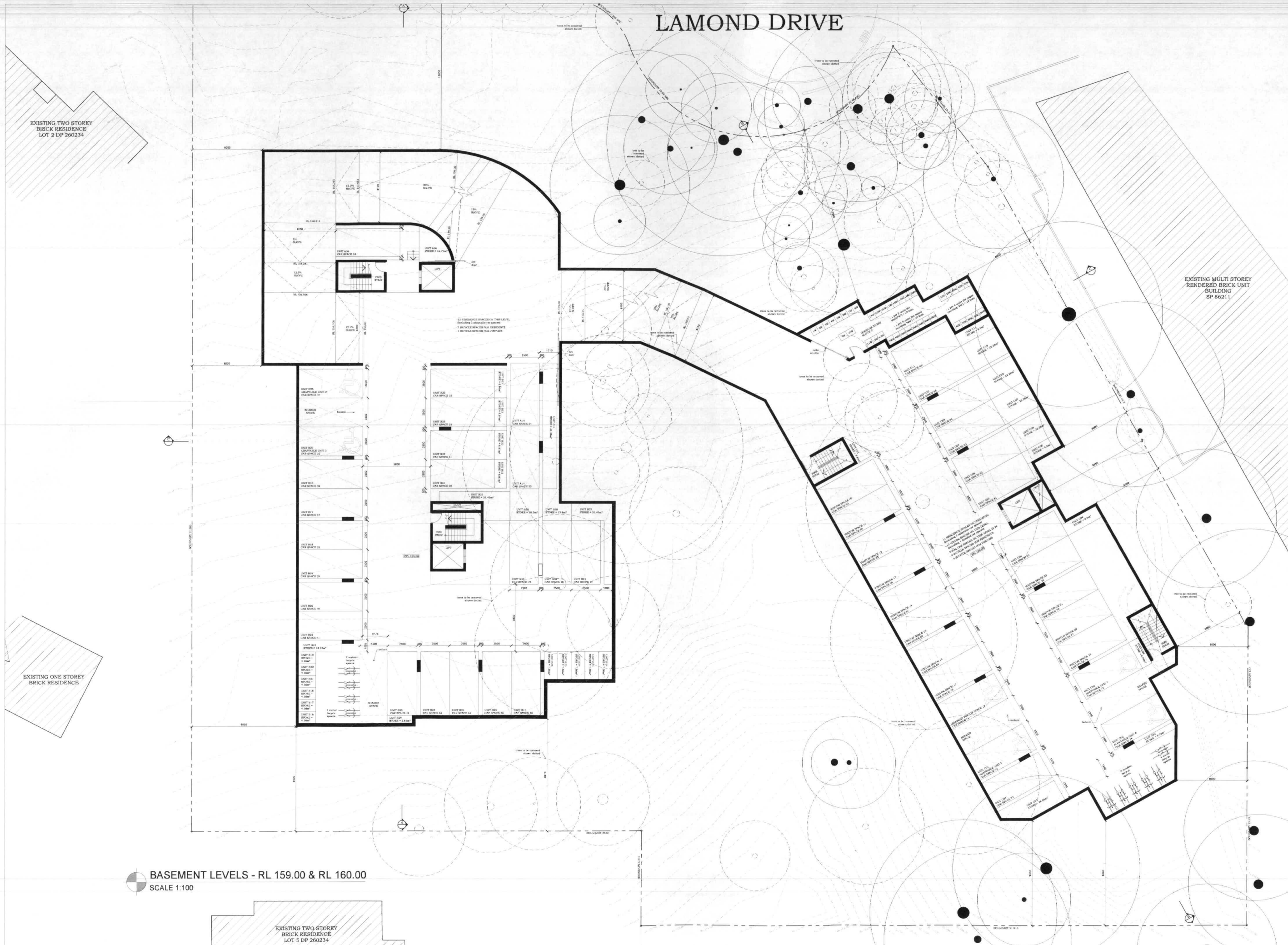
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Chartered Architect No. 9033

Job:
RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing title:
BASEMENT LEVEL & FLOOR PLAN: LEVEL RL 162.00 & RL 163.00
North Point

Scale: 1:100 @ A0
Date: 31.08.2012
Drawn: JA
Checked: DM
Drawing no.: **DA102B**
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LAMOND DRIVE



- BASIX REQUIREMENTS**
- All units must have 3 star (>4.5 but <=4.9) rated shower heads
 - All units must have 4 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bath/m taps
 - All units must have 4.5 star rated gas instantaneous hot water system
 - Each bathroom in all units must have an individual fan into central duct + VSD
 - Each bathroom in all units must have a manual switch on/off;
 - Each kitchen in all units must have an individual fan into central duct + VSD
 - Each kitchen in all units must have a manual switch on/off;
 - Each laundry in all units must have an individual fan into central duct + VSD
 - Each laundry in all units must have a manual switch on/off;
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
 - All dwellings to have 1-phase airconditioning EER3 0-3.5 for cooling & heating to living areas
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - All common areas must have 5 star rated toilets & taps
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 - Lift No. 3 must have gearless traction with VVV F motor servicing 8 levels (including basement)
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with a manual on/off timer off switch

BASEMENT LEVELS - RL 159.00 & RL 160.00
SCALE 1:100

REV	DATE
B	04 FEB 2013

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200
RESIDENTIAL FLAT BUILDING - 5-15 LAMOND DRIVE TURRAMURRA
Drawing title
BASEMENT LEVELS - RL 159.00 & RL 160.00
North point
Scale Date
1:100 @ A0 31.08.2012
Drawn Checked
JA DM
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